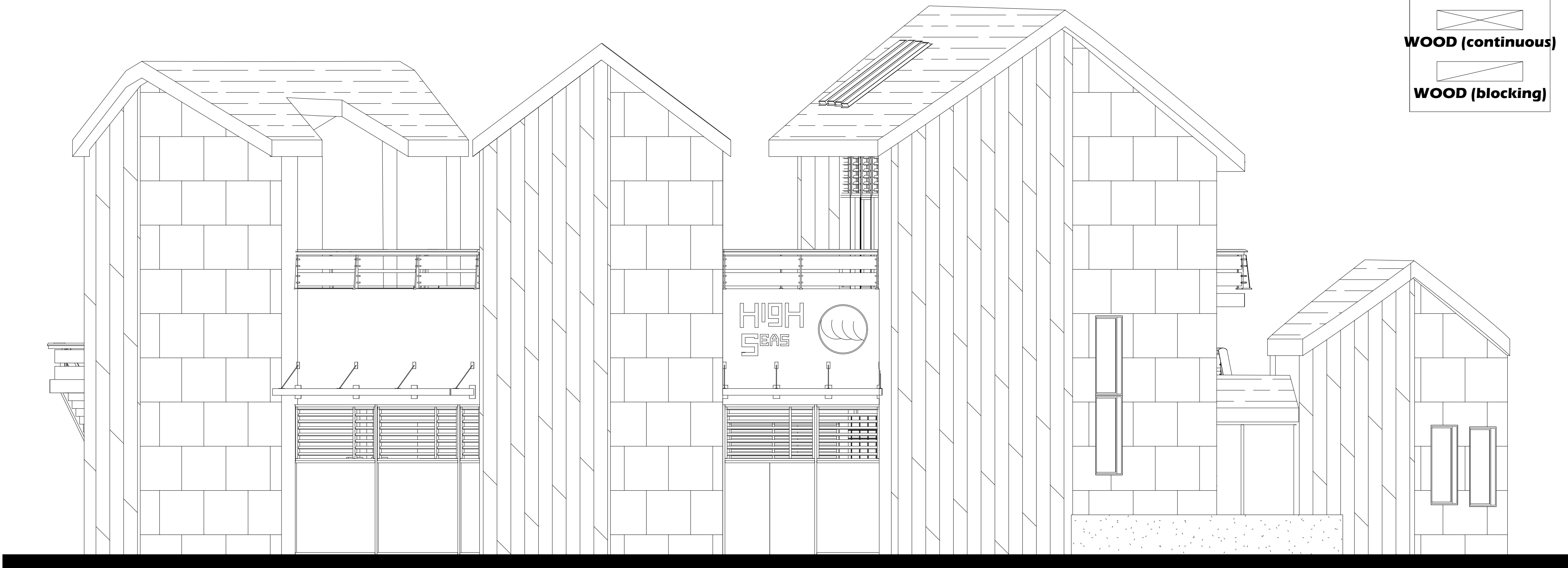


CONSTRUCTION DRAWING SET

JOSHUA RABICH
ARCH DEISGN V
PROFESSOR LOPICCOLO
FALL 2025



MATERIAL LEGEND	
	EARTH
	CRUSHED STONE
	CONCRETE
	SAND
	WOOD (continuous)
	WOOD (blocking)

SYMBOL LEGEND	
VIEW NO. — SHEET NO. —	ELEVATION NO. — SHEET NO. —
VIEW TAG	ELEVATION TAG
SECTION NO. — SHEET NO. —	DETAIL NO. — SHEET NO. —
BUILDING SECTION TAG WALL SECTION TAG	DETAIL TAG
NEW WALL OR PARTITION <small>2x6 WALL FRAMING FOR EXTERIOR WALLS, TOILET PARTITIONS AND POCKET DOORS 2x4 WALL FRAMING (U.O.N.) FOR LOAD BEARING CONDITIONS AND PARTITIONS</small>	DOOR TAG
JOIST FRAMING NOTATION <small>2x10 F.J. @ 16" O.C.</small>	WINDOW TAG

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JOSHUA RABICH

ARCH DESIGN V

PROFESSOR LOPICCOLO

FALL 2025

TITLE SHEET

HIGH SEAS FITNESS CENTER
2 GARNER LANE
BAYSHORE, NY-11706

DATE:	REVISION / ISSUE:
11/16/2025	SITE SET DRAFT

DRAWN BY:
JR

PROJECT #
2

SCALE
AS NOTED

DATE
11/16/25

SHEET #
T-1

GENERAL NOTES

COMMERCIAL CONSTRUCTION NOTES –TOWN OF ISLIP (2025 CODE UPDATES)

1. AS OF DECEMBER 31, 2025, THE UPDATED **NYS UNIFORM FIRE PREVENTION AND BUILDING CODE** AND **STATE ENERGY CONSERVATION CONSTRUCTION CODE** WILL BE IN EFFECT. ([Islip Town][1])
2. THE BUILDING DIVISION SHALL REVIEW ALL PERMITS UNDER THE NEW 2025 EDITIONS OF THE BUILDING, FIRE, PLUMBING, MECHANICAL, FUEL GAS, PROPERTY MAINTENANCE, AND EXISTING BUILDING CODES. ([Islip Town][1])
3. ENERGY CODE COMPLIANCE FOR COMMERCIAL PROJECTS MUST USE **NYS ASHRAE 90.1-2025** WHERE APPLICABLE. ([Islip Town][1])
4. ALL DRAWINGS, STRUCTURAL CALCULATIONS, AND SPECIFICATIONS MUST BE SEALED BY A NEW YORK STATE-LICENSED ARCHITECT OR ENGINEER.
5. SUBMIT REQUIRED DOCUMENTS THROUGH THE TOWN'S **PLANNING & DEVELOPMENT ELECTRONIC PERMIT PORTAL**.
6. PROVIDE A DETAILED CODE ANALYSIS IN THE DOCUMENTS, INCLUDING:

- * BUILDING OCCUPANCY CLASSIFICATION
- * FIRE SEPARATION REQUIREMENTS
- * MEANS OF EGRESS (EXITS, STAIRWAYS, RAMPS)
- * FIRE PROTECTION SYSTEMS (SPRINKLERS, ALARMS)
- * STRUCTURAL TYPE AND FIRE-RESISTANCE RATINGS

7. ALL EXTERIOR WALL ASSEMBLIES MUST INCLUDE WEATHER-RESISTANT BARRIER (WRB), AIR BARRIER, FLASHING, CONTROL JOINTS, AND INSULATION TO MEET THE ENERGY CODE REQUIREMENTS.
8. ROOF DESIGN SHALL ACCOUNT FOR PROPER DRAINAGE (SCUPPERS, OVERFLOW, LEADERS) AND INCLUDE THERMAL INSULATION AND AIR/ICE BARRIER AS REQUIRED.
9. PROVIDE VENTILATION STRATEGIES FOR ROOFS AND ATTIC SPACES (RIDGE VENTS, SOFFIT VENTS, ETC.) AS NECESSARY TO PREVENT CONDENSATION.
10. ALL MECHANICAL SYSTEMS (HVAC, EXHAUST, MAKEUP AIR) MUST BE COORDINATED WITH ENERGY-CODE DOCUMENTATION; HVAC EQUIPMENT MUST MEET EFFICIENCY REQUIREMENTS FOR THE 2025 CODE.
11. COMMERCIAL PLUMBING SYSTEMS MUST SHOW WATER SUPPLY, DRAINAGE, VENTING, AND FIXTURE LAYOUTS; PLUMBING EQUIPMENT MUST COMPLY WITH 2025 PLUMBING CODE PROVISIONS.
12. SHOW FIRE PROTECTION LAYOUT: SPRINKLER HEADS, PIPING, FIRE ALARM DEVICES, AND FIRE DEPARTMENT CONNECTIONS.
13. PROVIDE MEANS OF EGRESS ILLUMINATION, EXIT SIGNAGE, AND EMERGENCY LIGHTING PER THE 2025 FIRE / BUILDING CODE.
14. ENSURE ALL DOORS, DOOR HARDWARE (EXIT DEVICES, PANIC HARDWARE), AND ACCESSIBLE ELEMENTS COMPLY WITH ADA REQUIREMENTS AND CODE EGRESS RULES.
15. IF THE COMMERCIAL PROJECT INVOLVES CHANGE OF USE OR TENANT FIT-OUT, PROVIDE TENANT-BUILDOUT PLANS WITH OCCUPANCY ANALYSIS AND EGRESS PATHS.
16. PROVIDE STORMWATER MANAGEMENT DESIGN (ON-SITE DETENTION / RETENTION) IF REQUIRED BY LOCAL OR COUNTY STANDARDS FOR COMMERCIAL DEVELOPMENT.
17. COORDINATE SITE PLAN ELEMENTS WITH THE TOWN PLANNING DIVISION: ACCESSIBLE PATHS, PARKING, LANDSCAPING, CURBS, SIDEWALKS, AND DRAINAGE.
18. FIRE HYDRANT LOCATION, FIRE LANE, AND FIRE ACCESS ROUTING MUST BE SHOWN AND MEET TOWN / FIRE DEPARTMENT REQUIREMENTS.
19. PROVIDE SEPARATION AND FIRE-RATED PARTITIONS WHERE REQUIRED BETWEEN DIFFERENT USES (STORAGE, OFFICE, RETAIL, MECHANICAL).
20. INCLUDE CLEAR DETAILS FOR PENETRATION FIRESTOPPING (DUCTS, PIPES, CABLES) TO MAINTAIN FIRE-RESISTANCE RATINGS.
21. PROVIDE INSULATION AND THERMAL BREAKS WHERE REQUIRED FOR ENERGY COMPLIANCE (WALLS, ROOF, FLOOR) TO MEET BUILDING ENVELOPE U-VALUE / R-VALUE REQUIREMENTS.
22. ELECTRICAL DESIGN MUST ACCOMMODATE EMERGENCY AND EXIT LIGHTING; INCLUDE PANEL, CONDUIT, CIRCUITING, AND BACKUP POWER IF NEEDED.
23. PROVIDE DOCUMENTATION FOR LIGHTING POWER DENSITY, CONTROLS, AND DAYLIGHTING (IF APPLICABLE) TO MEET 2025 ENERGY CODE.
24. CONTRACTOR SHALL SCHEDULE INSPECTIONS VIA THE TOWN BUILDING DIVISION FOR STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND FINAL.
25. ANY FIELD CHANGES TO THE APPROVED PERMIT SET MUST BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL.
26. PRIOR TO CERTIFICATE OF OCCUPANCY, CONTRACTOR SHALL PROVIDE AS-BUILT / RECORD DRAWINGS, AND ALL INSPECTION REPORTS TO THE TOWN.
27. CONTRACTOR SHALL PROVIDE OPERATION & MAINTENANCE MANUALS FOR ALL BUILDING SYSTEMS (MECHANICAL, FIRE PROTECTION, ELECTRICAL) TO THE OWNER AND MAKE AVAILABLE TO TOWN INSPECTORS.
28. PROVIDE A SITE SAFETY PLAN, INCLUDING TEMPORARY FIRE PROTECTION, MEANS OF EGRESS DURING CONSTRUCTION, AND FALL PROTECTION WHERE REQUIRED.
29. CONTRACTOR SHALL MAINTAIN INSURANCE (LIABILITY, WORKERS COMPENSATION) PER TOWN REQUIREMENTS THROUGHOUT THE DURATION OF THE PROJECT.
30. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY BESS (BATTERY ENERGY STORAGE SYSTEM) REGULATIONS OR MORATORIUM REQUIREMENTS PENDING LOCAL CODE UPDATE. ([Suffolk County Government][3])
31. ALL WASTE AND DEBRIS MUST BE DISPOSED IN ACCORDANCE WITH LOCAL / COUNTY REGULATIONS.
32. OWNER / CONTRACTOR SHALL SCHEDULE FINAL TOWN INSPECTION AND OBTAIN CERTIFICATE OF OCCUPANCY (C.O.) BEFORE OCCUPANCY COMMENCES.
33. CONTRACTOR SHALL COORDINATE WITH TOWN PLANNING & ZONING DIVISIONS TO ENSURE ANY ZONING BOARD OR PLANNING BOARD CONDITIONS ARE MET (SETBACKS, BUFFER, LANDSCAPING, ETC.).
34. PROVIDE FIRE HYDRANT FLOW TEST REPORT IF REQUIRED BY THE FIRE CODE OR LOCAL JURISDICTION.
35. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES DURING CONSTRUCTION (FENCING, DUST CONTROL, EROSION CONTROL).
36. ANY NON-CONFORMING CONDITIONS OR CODE VIOLATIONS IDENTIFIED DURING INSPECTION MUST BE CORRECTED AND RESUBMITTED FOR APPROVAL BEFORE FINAL APPROVAL / CO IS GRANTED.

**ADDITIONAL COMMERCIAL GENERAL NOTES

SITE & CIVIL NOTES

1. CONTRACTOR SHALL PROVIDE EROSION AND SEDIMENT CONTROL PER NYSDEC STANDARDS, INCLUDING SILT FENCE, CATCH BASIN PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE.
2. ALL SITE UTILITIES (WATER, SEWER, GAS, ELECTRIC) SHALL BE INSTALLED PER UTILITY PROVIDER REQUIREMENTS.
3. VERIFY EXISTING UTILITY LOCATIONS IN THE FIELD PRIOR TO EXCAVATION; CALL 811 BEFORE DIGGING.
4. SITE LIGHTING SHALL BE FULL CUTOFF, DARK-SKY COMPLIANT, AND INSTALLED PER APPROVED SITE PLAN.
5. FINISH GRADES SHALL DIRECT WATER AWAY FROM STRUCTURES AT A MINIMUM SLOPE OF 5% FOR THE FIRST 10 FEET.
6. PROTECT NEARBY WETLANDS, TIDAL AREAS, OR CONSERVATION AREAS IN ACCORDANCE WITH TOWN AND NYSDEC REQUIREMENTS.
7. ALL ASPHALT, CONCRETE, CURBS, AND SIDEWALKS SHALL MEET TOWN OF ISLIP DPW STANDARDS.

STRUCTURAL NOTES

8. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING FOR ALL WALLS, BEAMS, FLOORS, AND ROOF ELEMENTS DURING CONSTRUCTION.
9. SUBSTITUTION OF STRUCTURAL MATERIALS IS NOT PERMITTED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
10. ALL STEEL MEMBERS, CONNECTIONS, AND ANCHOR BOLTS SHALL CONFORM TO AISC & ASTM SPECIFICATIONS.
11. CONCRETE SHALL BE MINIMUM 4,000 PSI FOR FOOTINGS AND FOUNDATIONS, 3,000 PSI FOR SLABS, UNLESS OTHERWISE NOTED.
12. ALL WOOD FRAMING SHALL BE PRESSURE-TREATED WHERE IN CONTACT WITH CONCRETE, MASONRY, OR EXTERIOR GRADES.
13. PROVIDE SPECIAL INSPECTIONS AS MANDATED BY THE UNIFORM CODE (SOILS, REBAR, CONCRETE, STEEL, WELDING, SPRAY FIREPROOFING).
14. CONTRACTOR SHALL VERIFY ALL BEARING CONDITIONS AND NOTIFY ENGINEER IF UNSUITABLE SOILS ARE ENCOUNTERED.

FIRE PROTECTION NOTES

15. FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED PER NFPA 13 / 13R / 13D AS APPLICABLE.
16. CONTRACTOR SHALL PROVIDE A FIRE ALARM SYSTEM PER NFPA 72 AND THE NYS FIRE CODE.
17. ALL FIRE DAMPERS, SMOKE DAMPERS, AND COMBINATION DAMPERS SHALL BE INSTALLED PER UL LISTING AND MANUFACTURER REQUIREMENTS.
18. FIRE-RESISTIVE JOINT SYSTEMS SHALL BE TESTED ASSEMBLIES (UL, GA, OR EQUAL).
19. PROVIDE RATED FIRESTOPPING AT ALL PENETRATIONS AND JOINTS; USE 3RD-PARTY TESTED SYSTEMS ONLY.
20. FIRE EXTINGUISHERS SHALL BE LOCATED IN ACCESSIBLE LOCATIONS PER NFPA 10.
21. FIRE DEPARTMENT ACCESS ROADS SHALL MAINTAIN REQUIRED CLEAR WIDTH, HEIGHT, TURNING RADIUS, AND GRADE.

MECHANICAL / HVAC NOTES

22. ALL ROOFTOP UNITS SHALL BE ANCHORED TO MEET WIND LOAD REQUIREMENTS FOR LONG ISLAND (HIGH-VALUE WIND REGION).
23. PROVIDE VIBRATION ISOLATION FOR HVAC EQUIPMENT.
24. ALL DUCTWORK SHALL BE SEALED TO A MINIMUM **SMACNA SEAL CLASS B** OR AS REQUIRED BY ENERGY CODE.
25. MECHANICAL SYSTEMS SHALL HAVE AUTOMATIC CONTROLS, SETBACKS, AND SHUTDOWN FEATURES PER 2025 ENERGY CODE.
26. CONTRACTOR SHALL TEST AND BALANCE ALL HVAC SYSTEMS AND PROVIDE CERTIFIED TAB REPORTS.
27. PROVIDE ROOF CURBS, FLASHINGS, AND SLEEPERS FOR ALL HVAC EQUIPMENT.
28. EXHAUST TERMINATIONS MUST MAINTAIN CLEARANCES FROM OPENINGS PER MECHANICAL CODE.

ELECTRICAL NOTES

29. ELECTRICAL WORK SHALL COMPLY WITH THE LATEST NEC AND NEW YORK STATE AMENDMENTS.
30. PROVIDE A COMPLETE SINGLE-LINE DIAGRAM INCLUDING SERVICE SIZE, FEEDERS, GROUNDINGS, AND PANELS.
31. EMERGENCY AND EXIT LIGHTING SHALL BE ON DEDICATED EMERGENCY CIRCUITS WITH BATTERY BACKUP OR GENERATOR FEED.
32. ALL SITE LIGHTING SHALL BE INSTALLED WITH UNDERGROUND RATED CONDUIT AND APPROVED WIRING METHODS.
33. CONDUCTORS BELOW SLABS SHALL BE IN WET-RATED CONDUIT PER NEC.
34. ELECTRICAL PANELS SHALL HAVE REQUIRED WORKING CLEARANCES PER NEC 110.26.
35. PANEL DIRECTORIES SHALL BE TYPED, COMPLETE, AND ACCURATE AT TURNOVER.

PLUMBING NOTES

36. ALL PLUMBING FIXTURES SHALL BE WATER-CONSERVATION COMPLIANT PER NYS 2025 ENERGY CODE.
37. PROVIDE BACKFLOW PREVENTION DEVICES WHERE REQUIRED BY SUFFOLK COUNTY WATER AUTHORITY.
38. GREASE INTERCEPTORS SHALL BE INSTALLED WHERE FOOD SERVICE EQUIPMENT IS PROVIDED.
39. ALL UNDERGROUND PLUMBING SHALL BE WATER AND AIR-TESTED PRIOR TO COVERING.
40. INSTALL CLEANOUTS AT REQUIRED INTERVALS AND AT CHANGES IN DIRECTION.
41. ROOF DRAINS SHALL HAVE BALL-AND-SLEEVE FLASHINGS AND SECURED STRAINERS.
42. DOMESTIC HOT WATER SYSTEMS MUST MAINTAIN REQUIRED TEMPERATURE CONTROL AND RECIRCULATION PER ENERGY CODE.

ACCESSIBILITY NOTES (ADA + NYS)

43. ALL ACCESSIBLE ROUTES MUST BE SLOPED AT 5% MAX WITH 2% MAX CROSS SLOPE.
44. PARKING LOTS SHALL INCLUDE ACCESSIBLE SPACES, SIGNAGE, AND STRIPING PER ADA AND LOCAL REQUIREMENTS.
45. DOORS ALONG ACCESSIBLE ROUTES MUST NOT EXCEED ALLOWABLE OPENING FORCE LIMITS.
46. RESTROOMS SHALL INCLUDE TURNING RADII, GRAB BARS, CLEARANCES, AND FIXTURE HEIGHTS PER ADA / NYS CODE.
47. ACCESSIBLE SERVICE COUNTERS, RECEPTION DESKS, AND CHECKOUT AREAS SHALL HAVE 34" MAX HEIGHT AND REQUIRED KNEE CLEARANCE.

ARCHITECTURAL NOTES

48. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR STOREFRONTS, DOORS, WINDOWS, CEILINGS, AND MILLWORK BEFORE FABRICATION.
49. ALL WINDOWS AND STOREFRONTS SHALL BE RATED FOR DESIGN PRESSURE (DP) BASED ON LOCAL WIND LOAD REQUIREMENTS.
50. INTERIOR FINISH MATERIALS MUST COMPLY WITH REQUIRED FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS PER FIRE CODE.
51. PROVIDE ACOUSTICAL SEALANT AROUND PARTITIONS WHERE REQUIRED FOR SOUND TRANSMISSION CLASS (STC) REQUIREMENTS.
52. CEILING HEIGHTS MUST COMPLY WITH MINIMUM DIMENSIONS FOR OCCUPANCIES AND CLEAR EGRESS HEIGHTS.
53. INSTALL FLOOR TRANSITIONS WITH LESS THAN 1/4" MAX VERTICAL CHANGE WITHOUT BEVEL, OR 1/2" WITH BEVEL, TO MAINTAIN ACCESSIBILITY.
54. INSTALL ALL FLASHING, SEALANTS, AND WEATHERPROOFING PER MANUFACTURER SPECS AND ARCHITECTURAL DETAILS.

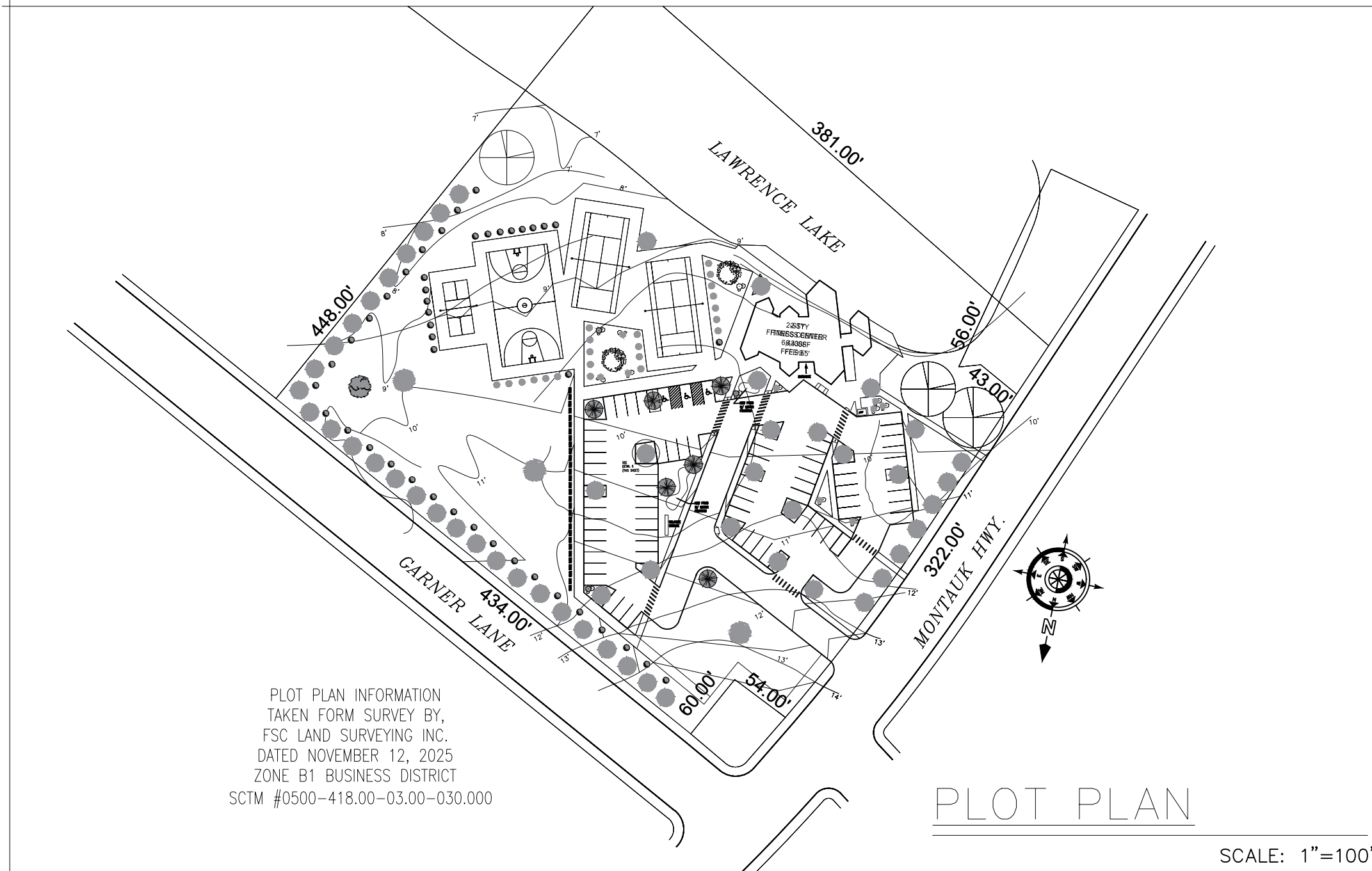
ABBREVIATIONS LEGEND

AFF.	-	ABOVE FINISHED FLOOR
AVG.	-	AVERAGE
AWN.	-	AWNING
CANT'	-	CANTILEVER
C.B.	-	COLLAR BEAM
C.J.	-	CEILING JOIST
C.L.	-	CENTER LINE
CLG'	-	CEILING
C.M.U.	-	CONCRETE MASONRY UNIT
CONT'	-	CONTINUOUS
C.T.	-	COLLAR TIE
DBL.	-	DOUBLE
D.H.	-	DOUBLE HUNG
DIA.	-	DIAMETER
D.J.	-	DECK JOIST
D.W.	-	DISHWASHER
EA.	-	EACH
E.E.	-	EACH END
E.P.	-	ELECTRIC PANEL
EXT.	-	EXTERIOR
F.J.	-	FLOOR JOIST
F.P.	-	FIREPLACE
F.R.S.C.	-	FIRE RATED SELF CLOSING
FTG'	-	FOOTING
GALV.	-	GALVANIZED
G.C.	-	GENERAL CONTRACTOR
HDR.	-	HEADER
INSUL.	-	INSULATION
MANUF.	-	MANUFACTURER
MECH.	-	MECHANICAL
M.O.	-	MASONRY OPENING
O.C.	-	ON CENTER
O.H.	-	OVERHANG
P.C.	-	POURED CONCRETE
P.T.	-	PRESSURE TREATED
R.B.	-	RIDGE BOARD
R.B.M.	-	RIDGE BEAM
REQ'	-	REQUIRED
RF.	-	ROOF
R.R.	-	ROOF RAFTER
R.T.	-	RAFTER TIE
SPECS'	-	SPECIFICATIONS
T.M.E.	-	TO MATCH EXISTING
TYP.	-	TYPICAL
U.S.	-	UNDERSIDE
V.I.F.	-	VERIFY IN FIELD
W.P.	-	WOOD POST
WD.	-	WOOD
W.M.	-	WATER METER
E.M.	-	ELECTRIC METER
G.M.	-	GAS METER

DRAWING INDEX

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PLOT PLAN



AS PER TOWN OF ISLIP BUSINESS 1 DISTRICT

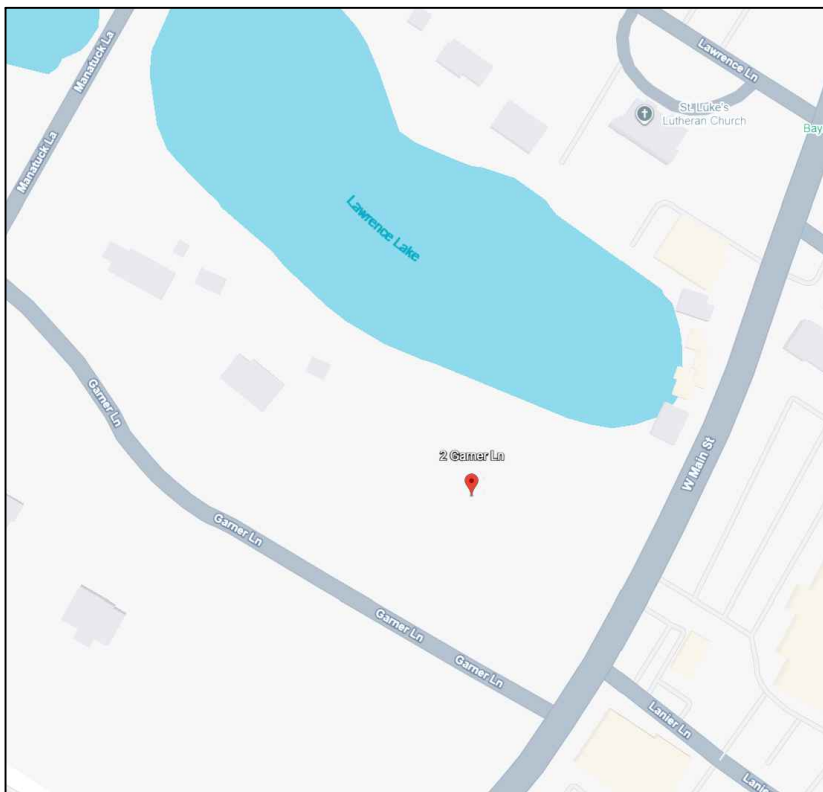
BULK DATA

REQUIREMENT	REQ'D	PROV'D
F.Y. SETBACK	10'	129'
R.Y. SETBACK	10'	254'-10"
S.Y. SETBACK	10'	83'-2"
TOTAL SIDES	20'	347'-6"
MAX HEIGHT	35'	32'
MAX F.A.R.	0.4	0.03
NEW 1ST FLOOR	N/A	4725 SF
NEW 2ND FLOOR	N/A	1738 SF

LOCATION MAP



AERIAL



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JOSHUA RABICH

ARCH DESIGN V

PROFESSOR LOPICCOLO
FALL 2025

GENERAL NOTES

HIGH SEAS FITNESS CENTER
2 GARNER LANE
BAYSHORE, NY-11706

DRAWING

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DRAWN BY:

JR

PROJECT #

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SCALE

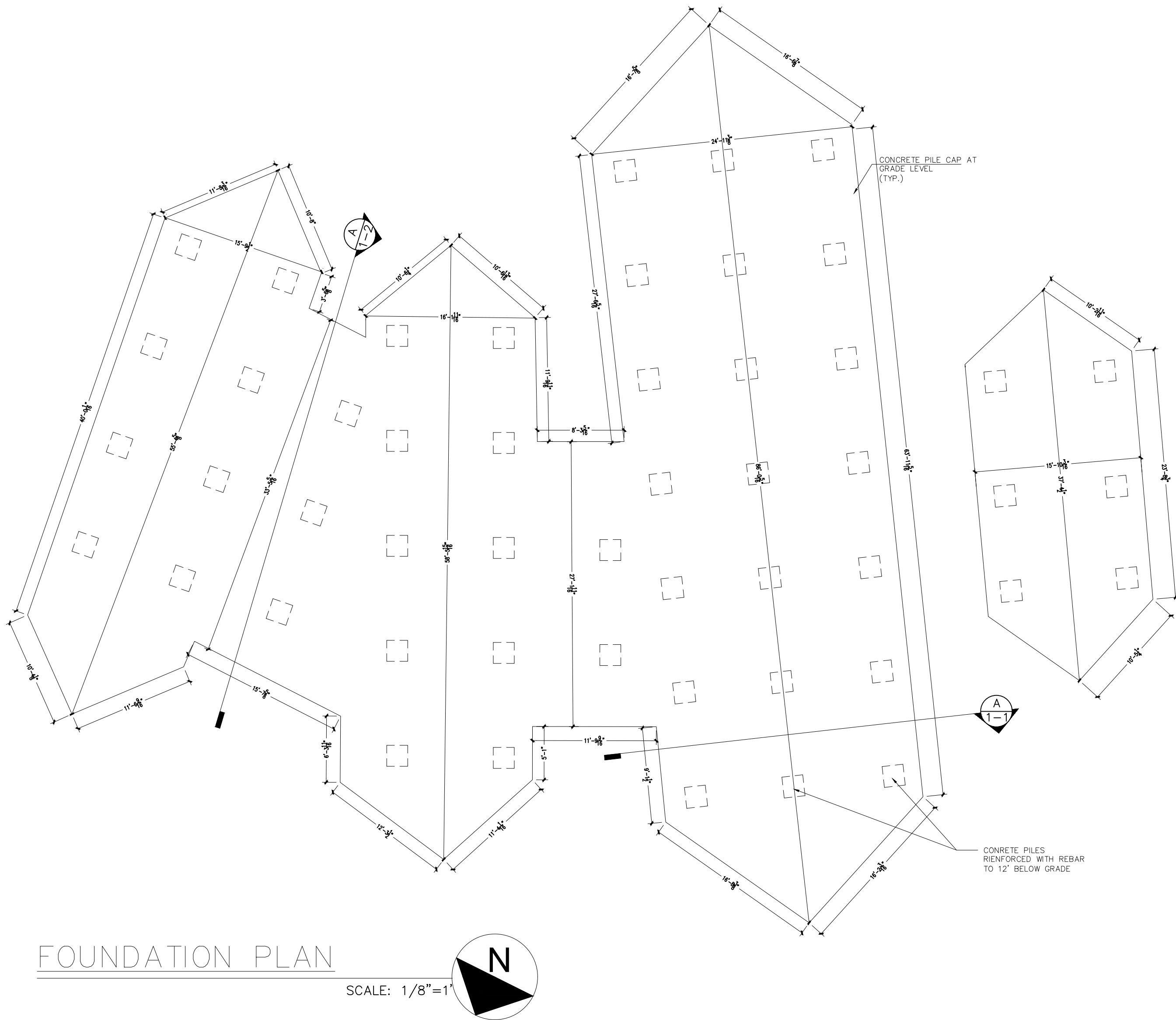
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DATE

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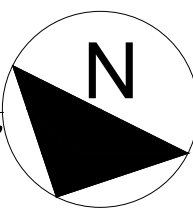
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A-0



FOUNDATION PLAN

SCALE: 1/8"=1'



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DATE

11/21/25

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A-1

PROJECT DESIGNER AND CREDITS

FOUNDATION PLAN

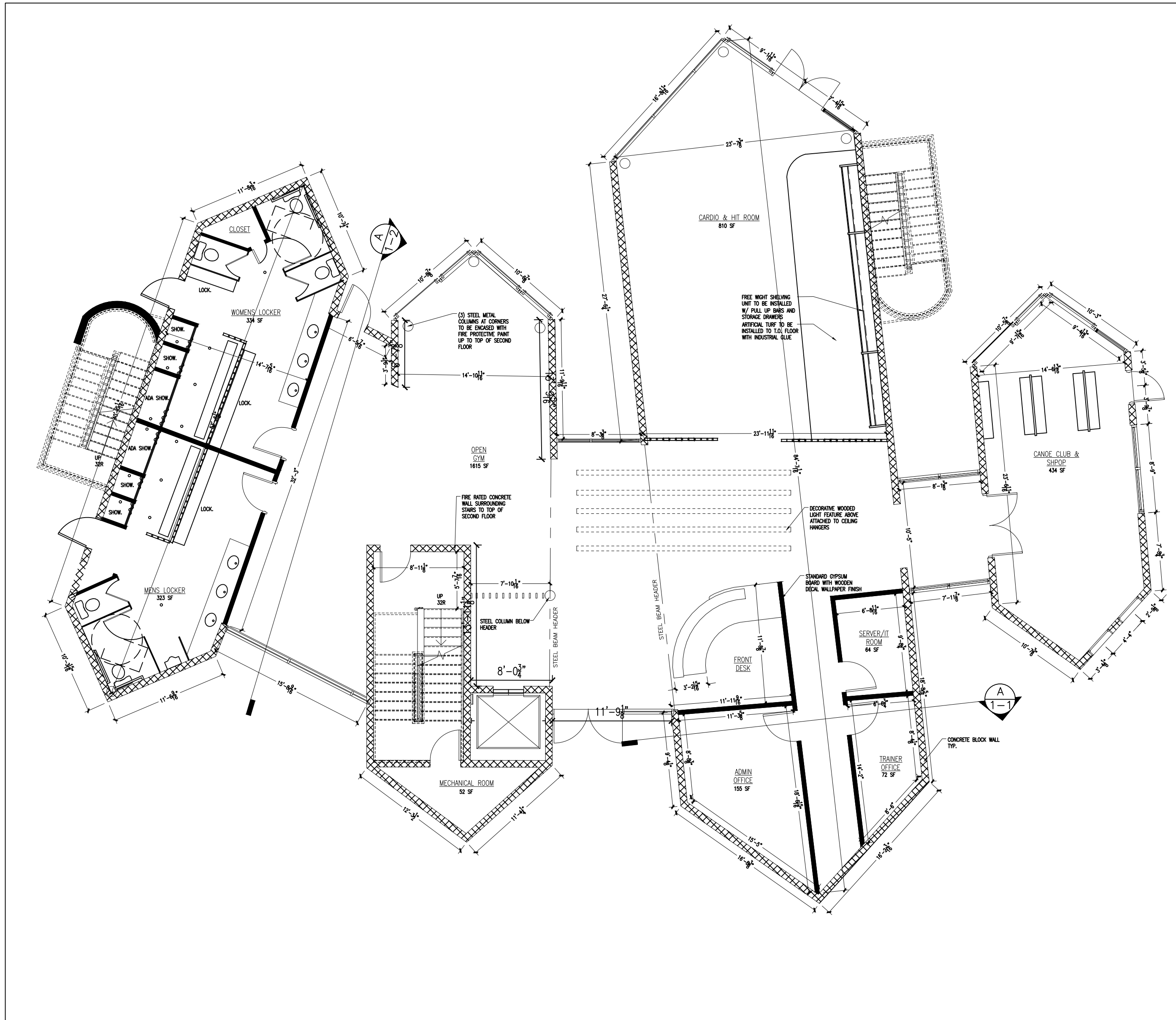
PROJECT NAME & ADDRESS

HIGH SEAS FITNESS CENTER
2 GARNER LANE
BAYSHORE, NY-11706

JOSHUA RABICH
ARCH DESIGN V
PROFESSOR LOPICCOLO
FALL 2025

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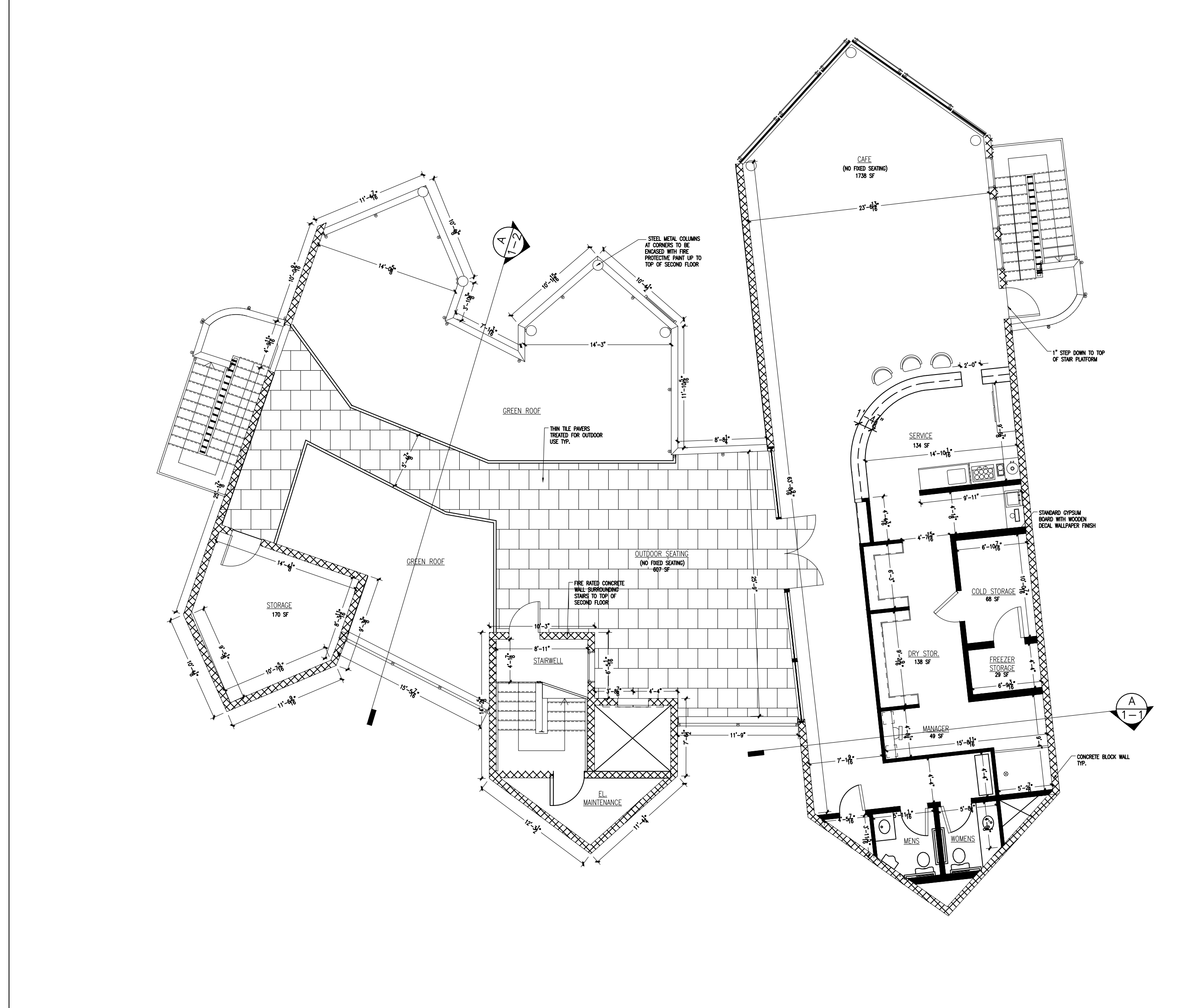
FIRST FLOOR PLAN

SCALE: 1/8"=1'

N

WOOD SIDING GENERAL NOTES

1. ALL WOOD SIDING INSTALLATION SHALL COMPLY WITH LOCAL BUILDING CODES AND MANUFACTURER'S RECOMMENDATIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, FIELD CONDITIONS, AND WALL SUBSTRATES PRIOR TO INSTALLATION.
3. ALL WOOD SIDING SHALL BE FREE OF DEFECTS, PROPERLY SEASONED, AND OF SPECIES AND GRADE SPECIFIED ON THE PLANS.
4. INSTALL WEATHER-RESISTANT BARRIER (WRB) CONTINUOUSLY BEHIND ALL WOOD SIDING; OVERLAP, SEAL, AND FLASH PER MANUFACTURER REQUIREMENTS.
5. PROVIDE HORIZONTAL FURRING OR RAINSCREEN SYSTEM WHERE REQUIRED TO ALLOW AIRFLOW BEHIND SIDING.
6. FASTEN SIDING WITH STAINLESS STEEL OR HOT-DIPPED GALVANIZED NAILS; DO NOT OVERDRIVE FASTENERS.
7. MAINTAIN REQUIRED END GAPS, EXPANSION JOINTS, AND SEALANTS AS SPECIFIED BY THE MANUFACTURER.
8. PRIME AND PAINT OR STAIN ALL CUT EDGES BEFORE INSTALLATION.
7. INSTALL CORNER BOARDS, TRIM, AND FLASHING AT ALL OPENINGS, TRANSITIONS, AND INTERSECTIONS PER DETAILS.
9. PROVIDE DRIP CAPS ABOVE ALL WINDOWS, DOORS, AND HORIZONTAL TRIM ELEMENTS.
10. ENSURE PROPER CLEARANCES AT GRADE, ROOF SURFACES, DECKS, AND PAVERS TO PREVENT MOISTURE DAMAGE.
11. CONTRACTOR SHALL PROTECT INSTALLED SIDING FROM DAMAGE, MOISTURE, AND DIRT DURING CONSTRUCTION.
12. ANY FIELD MODIFICATIONS OR ALTERNATE MATERIALS MUST BE APPROVED BY THE DESIGN PROFESSIONAL PRIOR TO INSTALLATION.



SECOND FLOOR PLAN

SCALE: 1/8"=1'

N

EMERGENCY ESCAPE AND RESCUE OPENINGS NOTE:

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R310 OF THE 2020 R.C.N.Y.S.

R310.2: EMERGENCY ESCAPE AND RESCUE OPENINGS. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.2.1: MINIMUM OPENING AREA.
— EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.

SMOKE ALARMS NOTES:

SMOKE ALARMS & HEAT DETECTION SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R314 OF THE 2020 R.C.N.Y.S. CODE AND NFPA72.

SMOKE ALARMS SHALL BE INSTALLED IN THE LOCATIONS AS DETERMINED PURSUANT TO SECTION R314.3.

CARBON MONOXIDE DETECTION SYSTEMS NOTES:

NEW AND EXISTING RESIDENTIAL BUILDINGS AND COMMERCIAL BUILDINGS SHALL BE PROVIDED WITH CARBON MONOXIDE DETECTION AND NOTIFICATION IN ACCORDANCE WITH SECTION 915 OF THE 2020 FIRE CODE OF N.Y.S., THE PROVISIONS OF NFPA 720 AND THE MANUFACTURER'S INSTALLATION INSTRUCTION.

CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION 915.3 OF THE 2020 FIRE CODE OF N.Y.S.

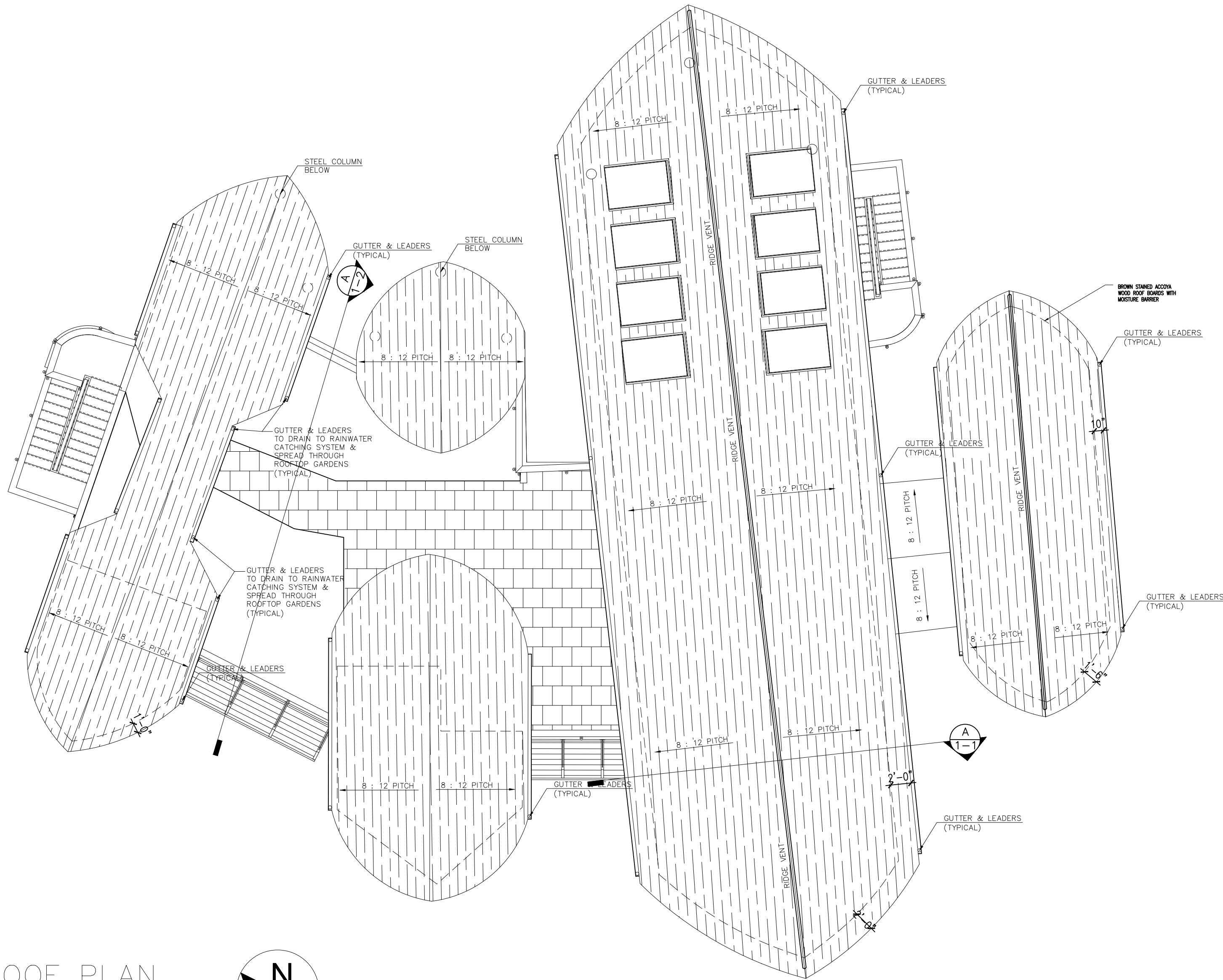
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PROFESSOR LOPICCOLO
FALL 2025

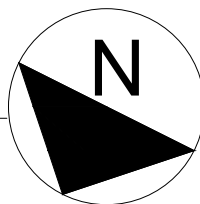
FIRST & SECOND FLOOR PLANS
HIGH SEAS FITNESS CENTER
2 GARNER LANE
BAYSHORE, NY-11706

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AS NOTED		
DATE		
11/21/25		
SHEET #		
A-2		



ROOF PLAN

SCALE: 1/8"=1'



WOODEN ROOF GENERAL NOTES

1. ALL ROOF FRAMING SHALL COMPLY WITH LOCAL BUILDING CODES AND THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) OR IBC AS APPLICABLE.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, FIELD CONDITIONS, AND ELEVATIONS PRIOR TO FRAMING.
3. ROOF FRAMING MEMBERS SHALL BE DOUGLAS FIR-LARCH #2 OR BETTER UNLESS OTHERWISE SPECIFIED.
4. INSTALL ALL RAFTERS, JOISTS, AND BEAMS AS SHOWN ON THE PLANS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. PROVIDE SOLID BLOCKING AT ALL RIDGES, VALLEYS, HIPS, AND BEARING POINTS.
6. ROOF SHEATHING SHALL BE MINIMUM 5/8" PLYWOOD OR OSB, TONGUE-AND-GROOVE, UNLESS NOTED OTHERWISE.
7. FASTEN SHEATHING WITH 8D NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. IN THE FIELD.
8. PROVIDE HURRICANE TIES AT ALL RAFTER-TO-WALL CONNECTIONS PER MANUFACTURER REQUIREMENTS.
9. ALL CONNECTION HARDWARE (HANGERS, TIES, STRAPS) SHALL BE SIMPSON OR EQUIVALENT, HOT-DIPPED GALVANIZED.
10. PROVIDE ROOF UNDERLAYMENT, ICE & WATER SHIELD, FLASHINGS, AND SHINGLES PER MANUFACTURER SPECIFICATIONS AND LOCAL CODE.
11. MAINTAIN REQUIRED VENTILATION CLEARANCES AT SOFFITS, RIDGES, AND ATTIC SPACES.
12. CONTRACTOR SHALL ENSURE ALL PENETRATIONS THROUGH THE ROOF ARE PROPERLY SEALED AND FLASHED.
13. ANY MODIFICATIONS TO STRUCTURAL MEMBERS REQUIRE APPROVAL BY THE ENGINEER PRIOR TO EXECUTION.

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PROJECT DESIGNER AND CREDITS

JOSHUA RABICH
ARCH DESIGN V
PROFESSOR LOPICCOLO
FALL 2025

ROOF PLAN

HIGH SEAS FITNESS CENTER
2 GARNER LANE
BAYSHORE, NY-11706

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2

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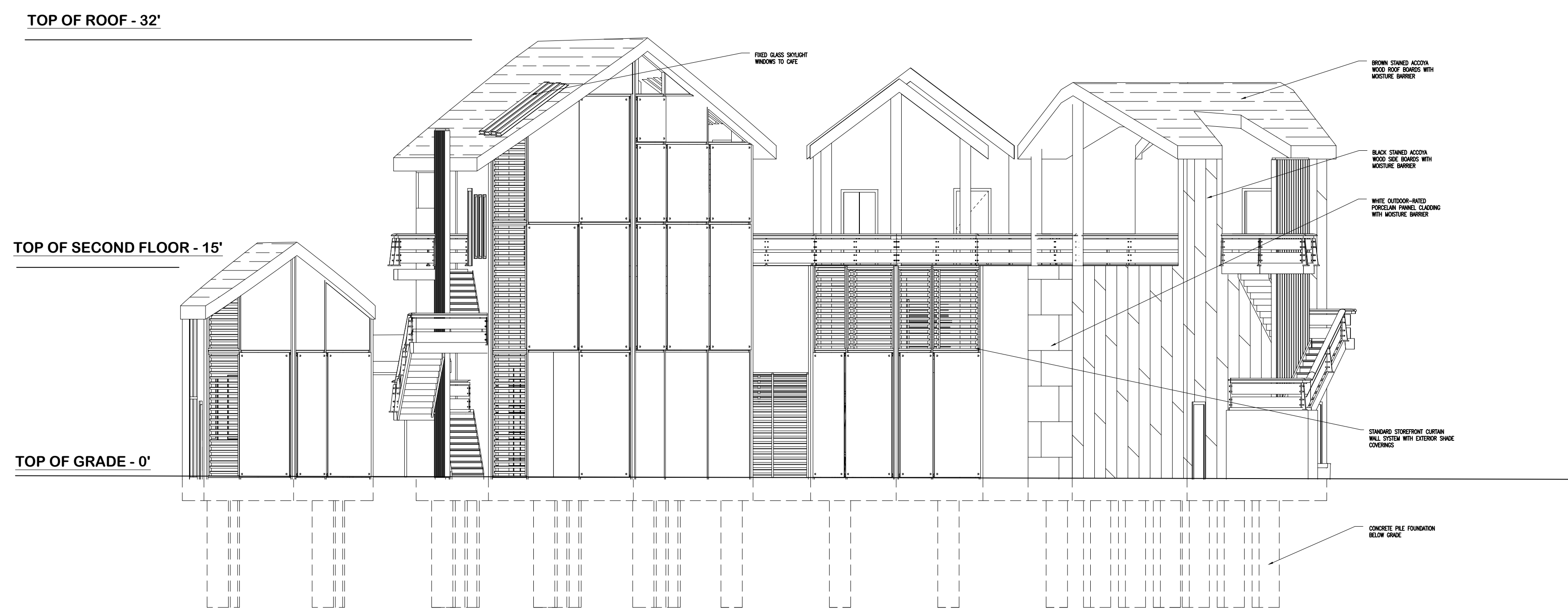
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A-3



FRONT (SOUTH) ELEVATION
SCALE: 1/8"=1'



REAR (NORTH) ELEVATION
SCALE: 1/8"=1'

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ARCH DESIGN V
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FALL 2025

NORTH / SOUTH
ELEVATIONS
HIGH SEAS FITNESS CENTER
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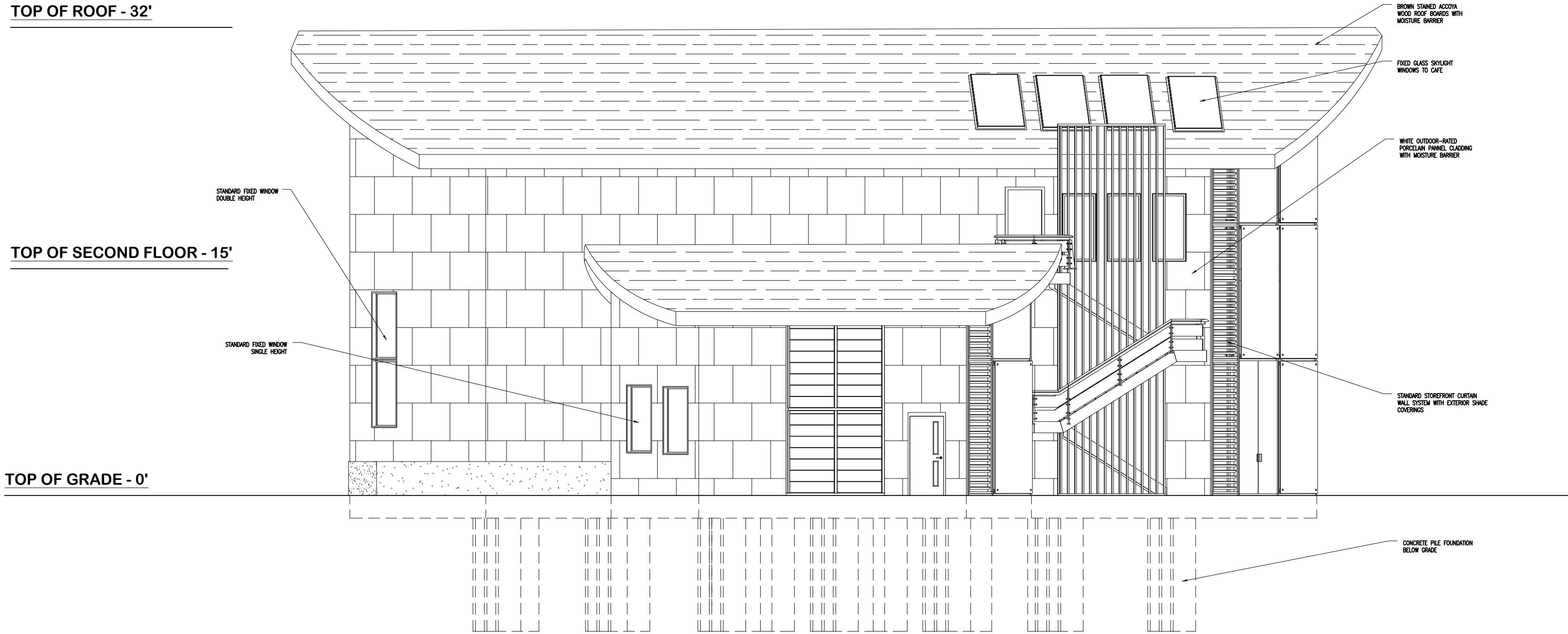
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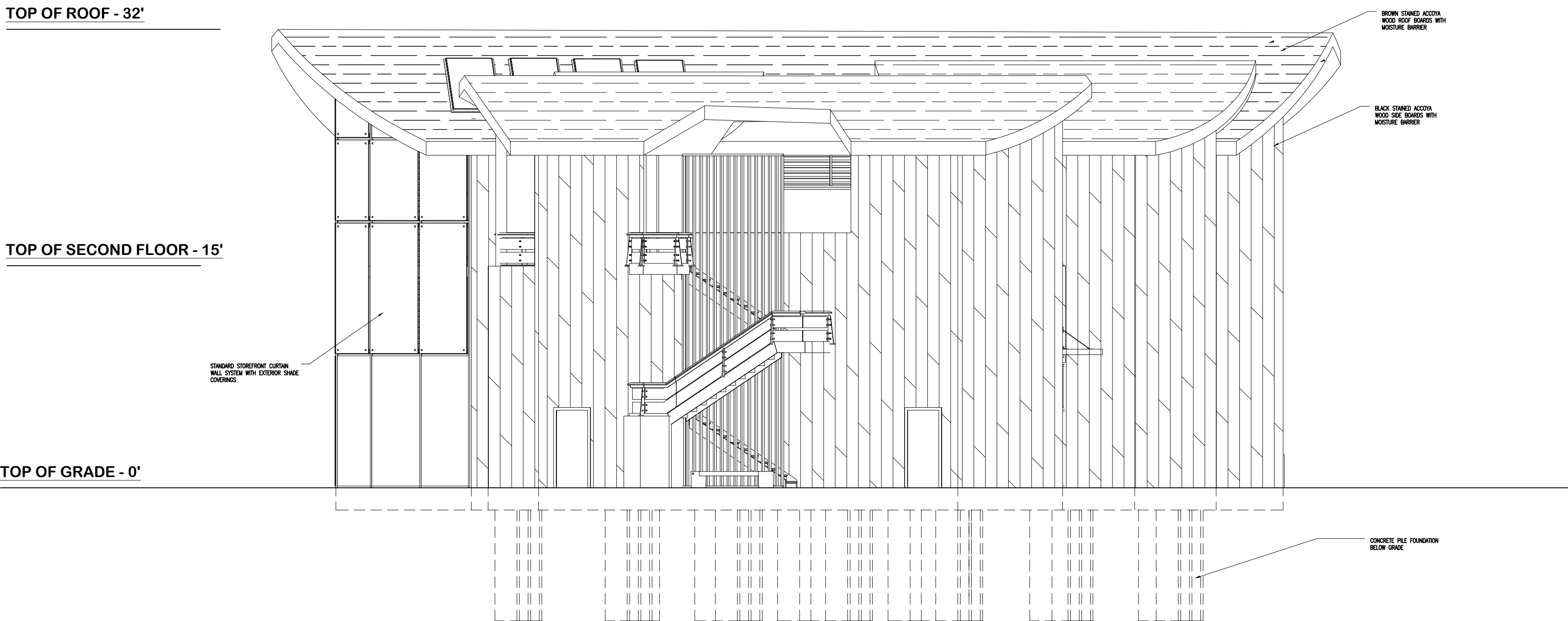
DATE
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A-4



RIGHT SIDE (WEST) ELEVATION

SCALE: 1/8"=1'



LEFT SIDE (EAST) ELEVATION

SCALE: 1/8"=1'

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EAST / WEST ELEVATIONS

HIGH SEAS FITNESS CENTER
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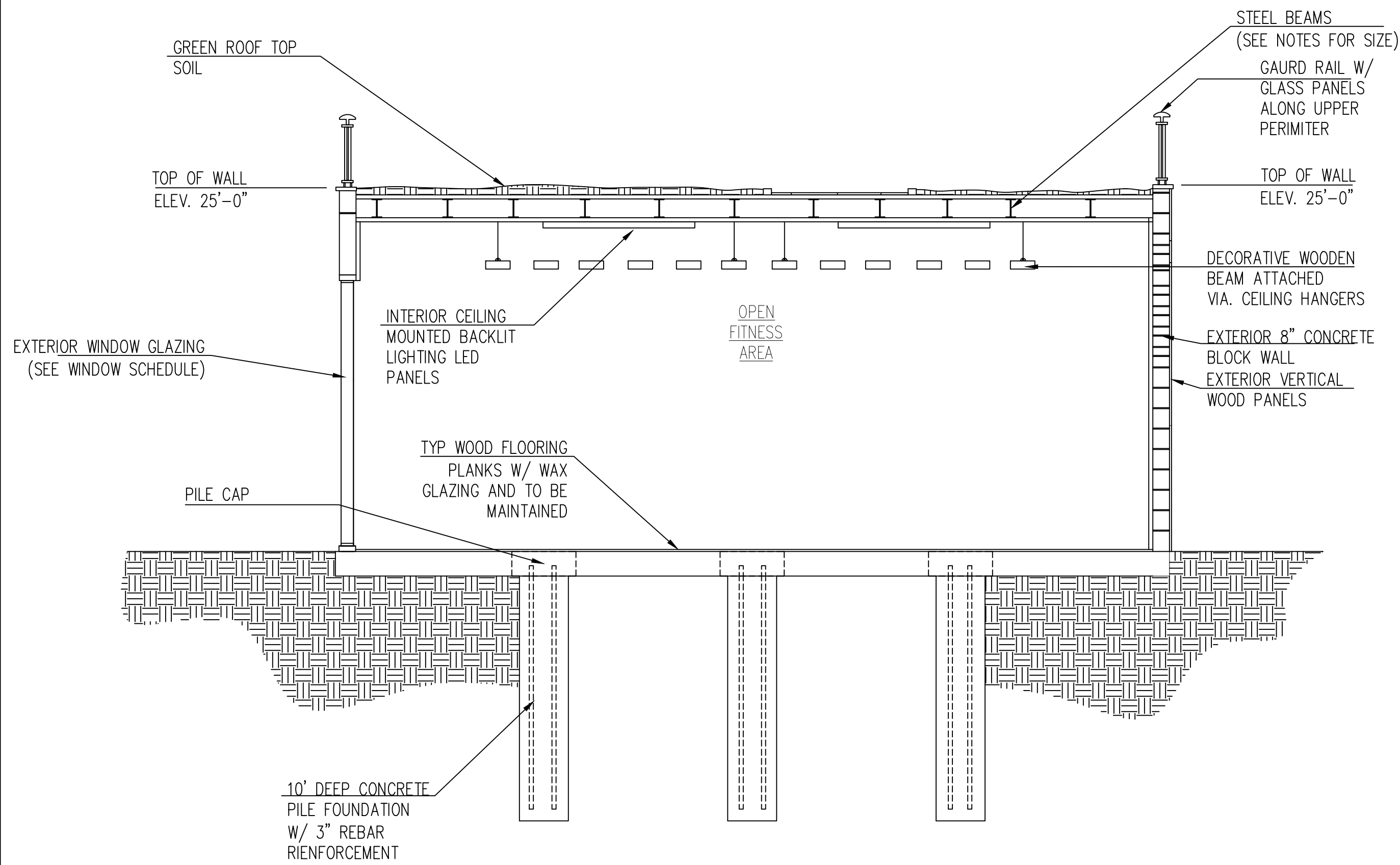
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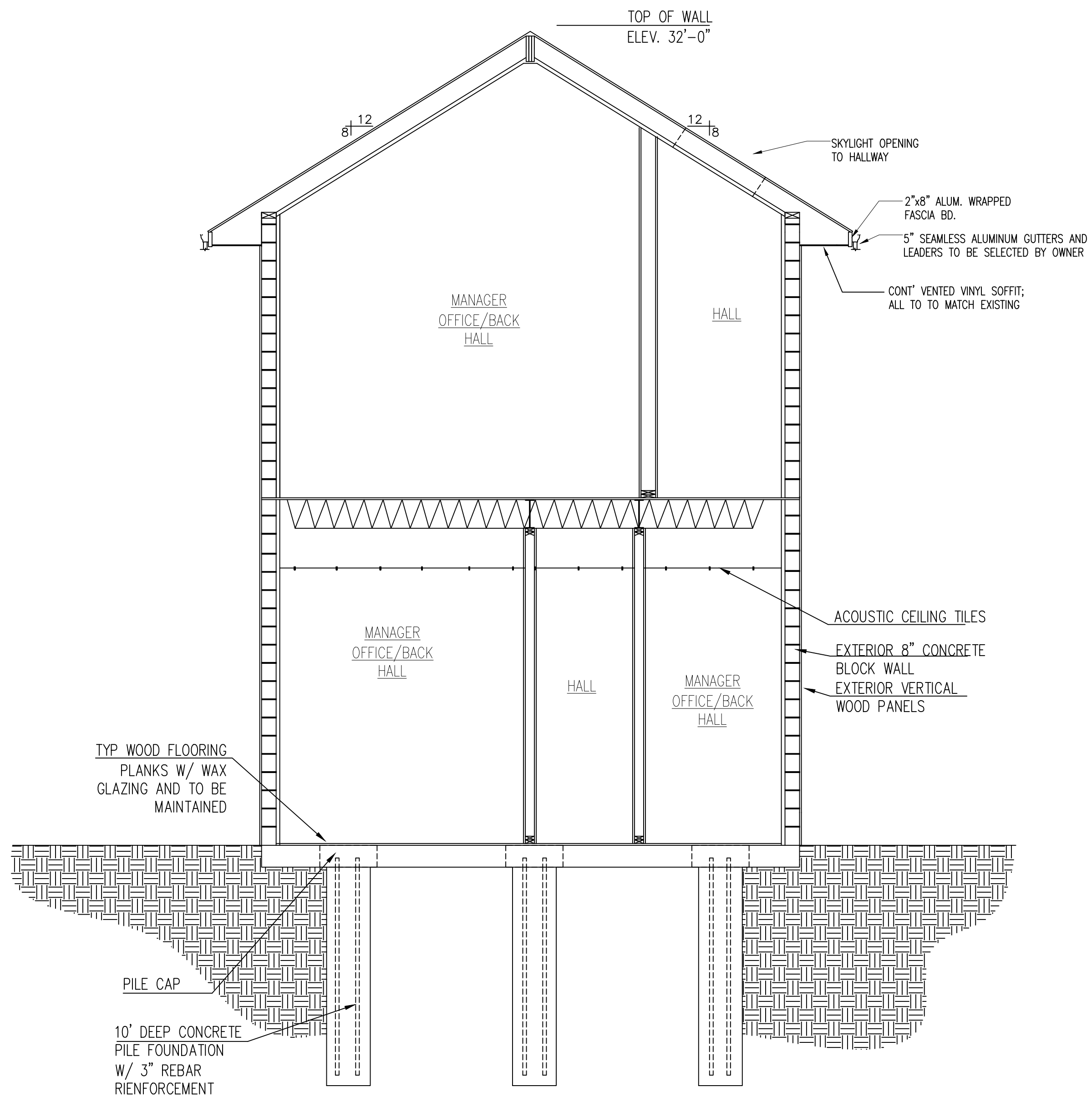
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A-5



SECTION A 1-1

SCALE: 1/4"=1'



SECTION A 1-2

SCALE: 1/4"=1'

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SECTIONS

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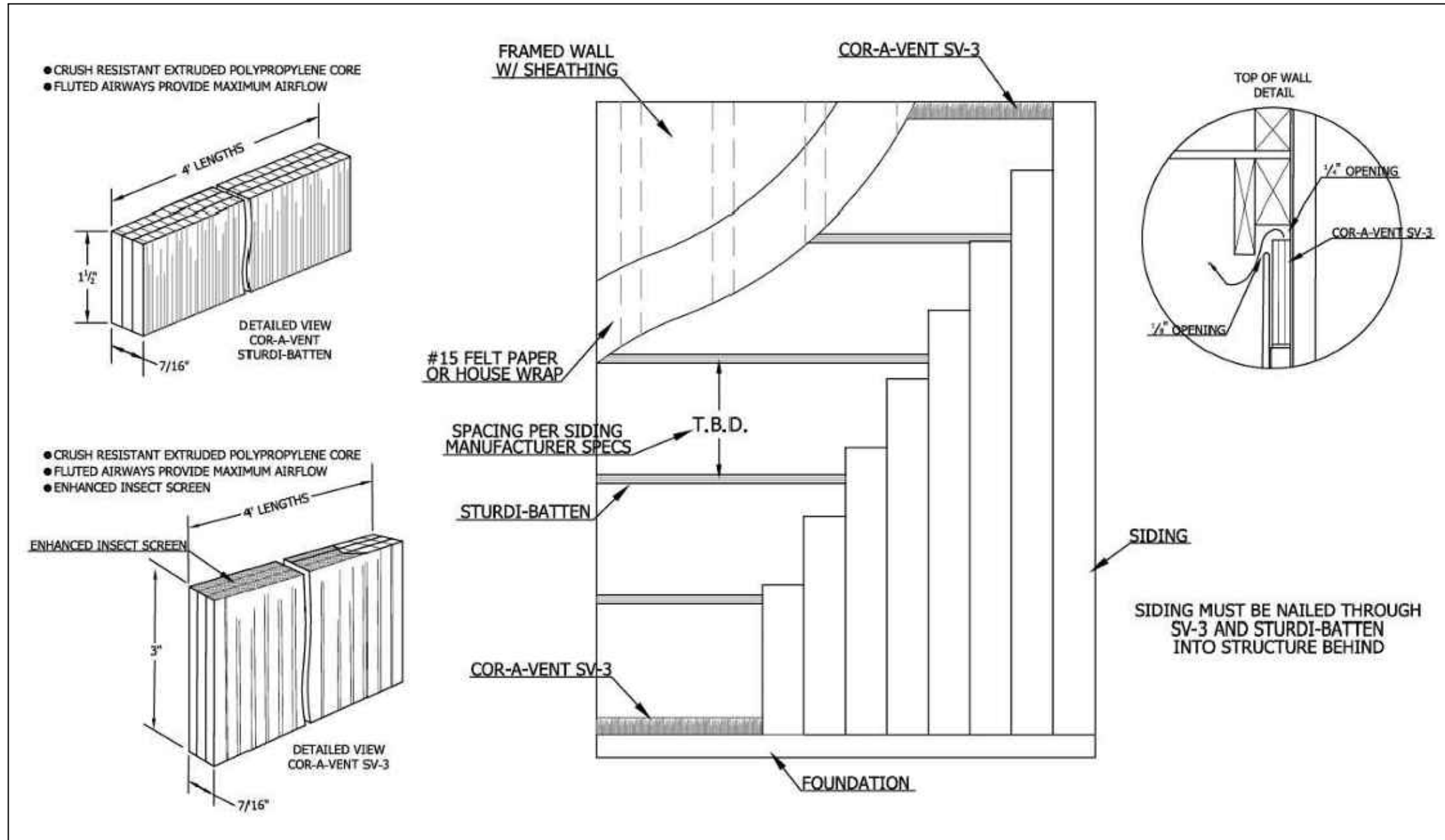
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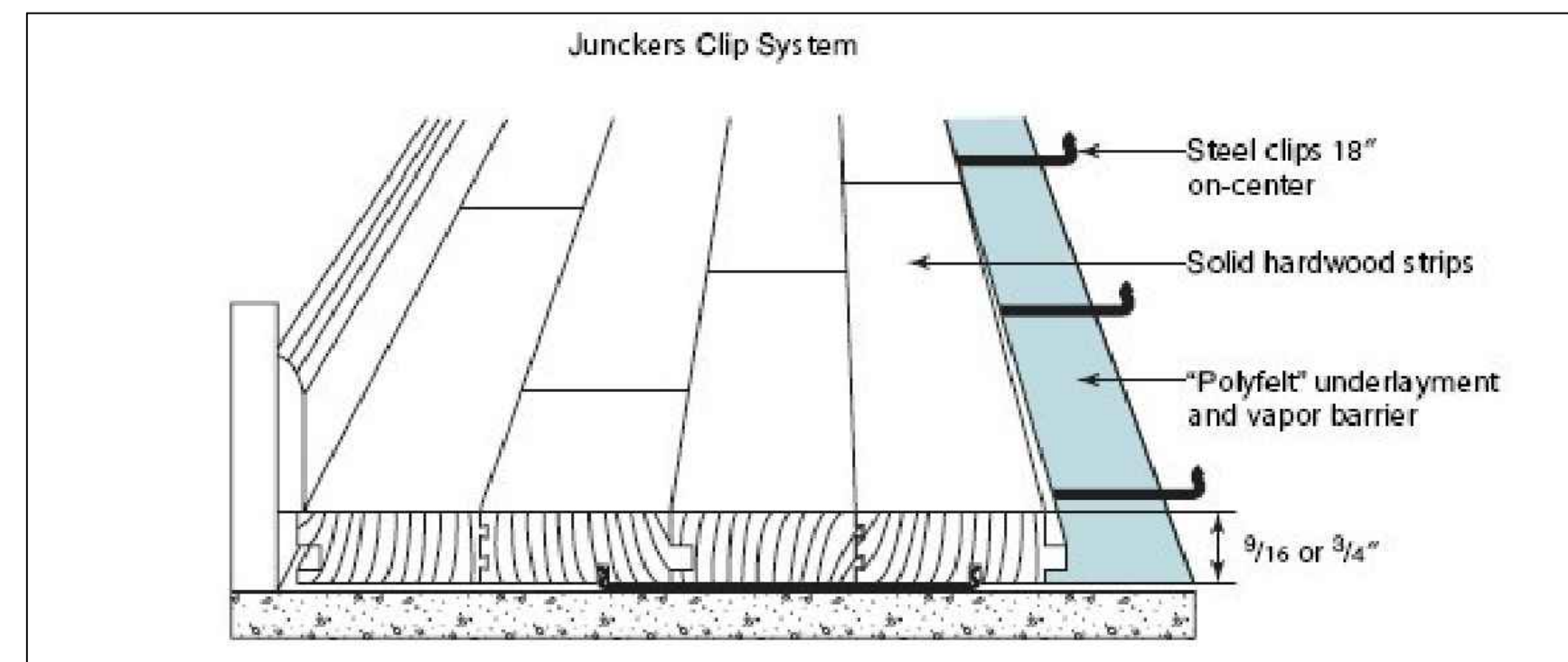
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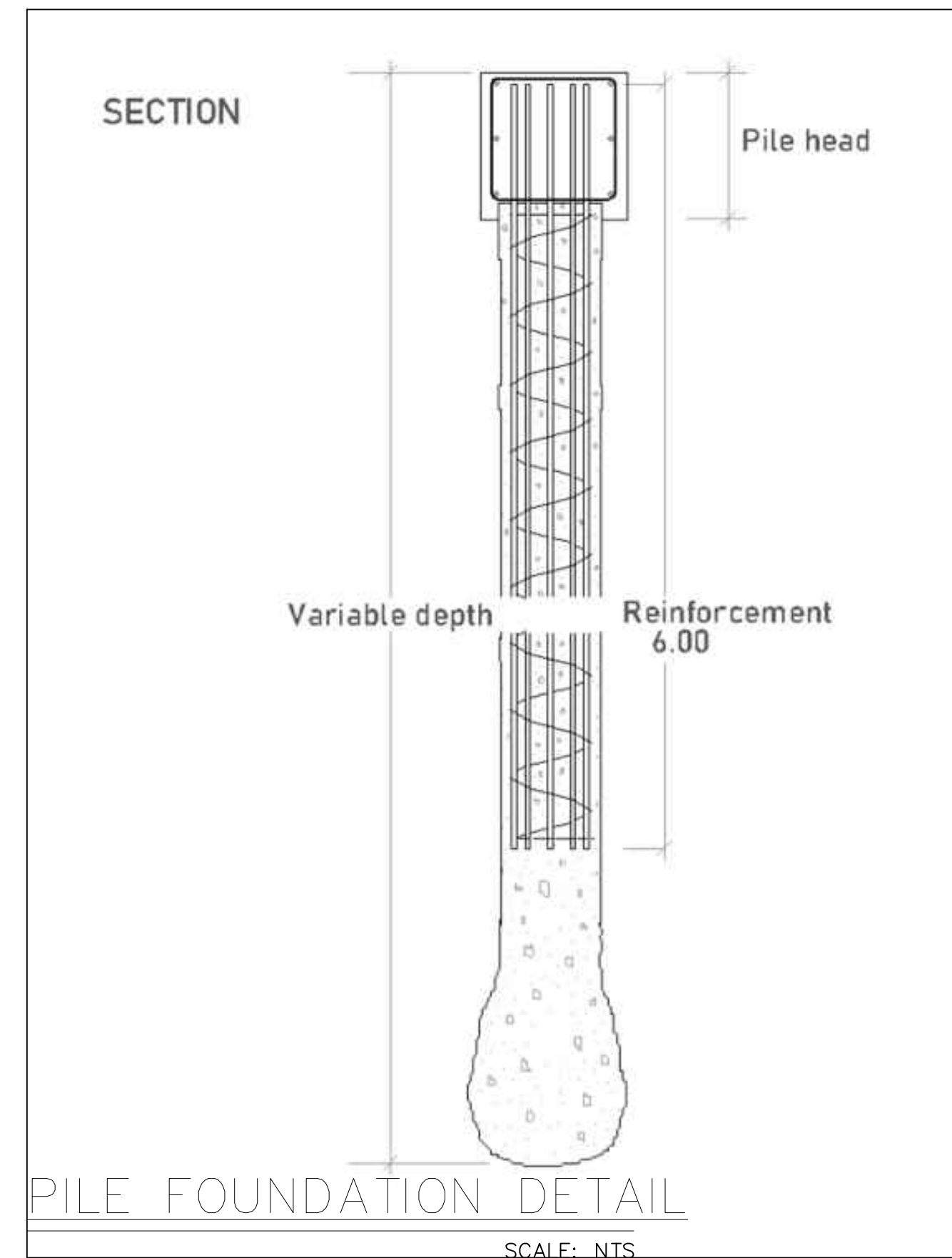
A-6



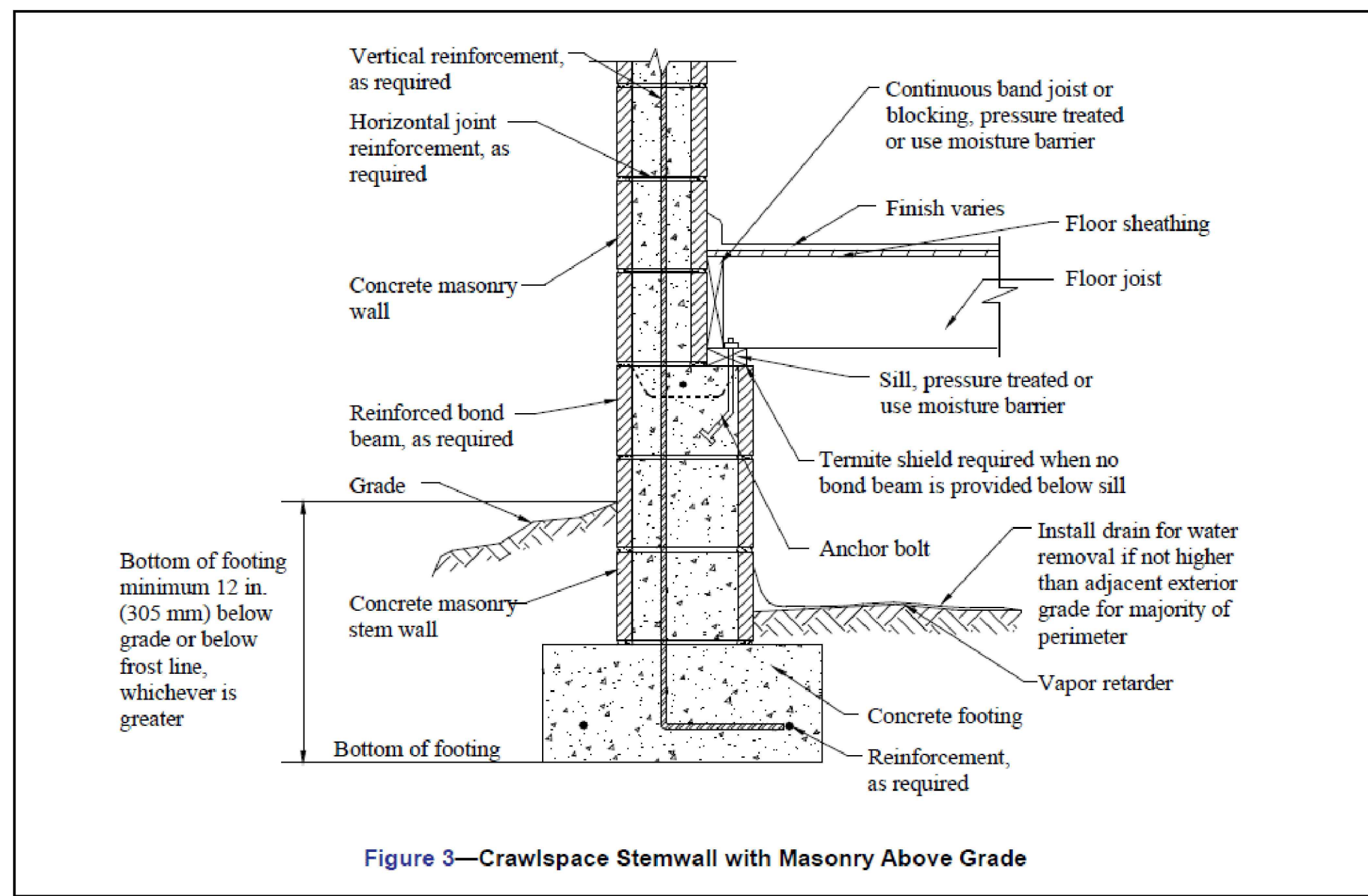
WOOD SIDING DETAIL
SCALE: NTS



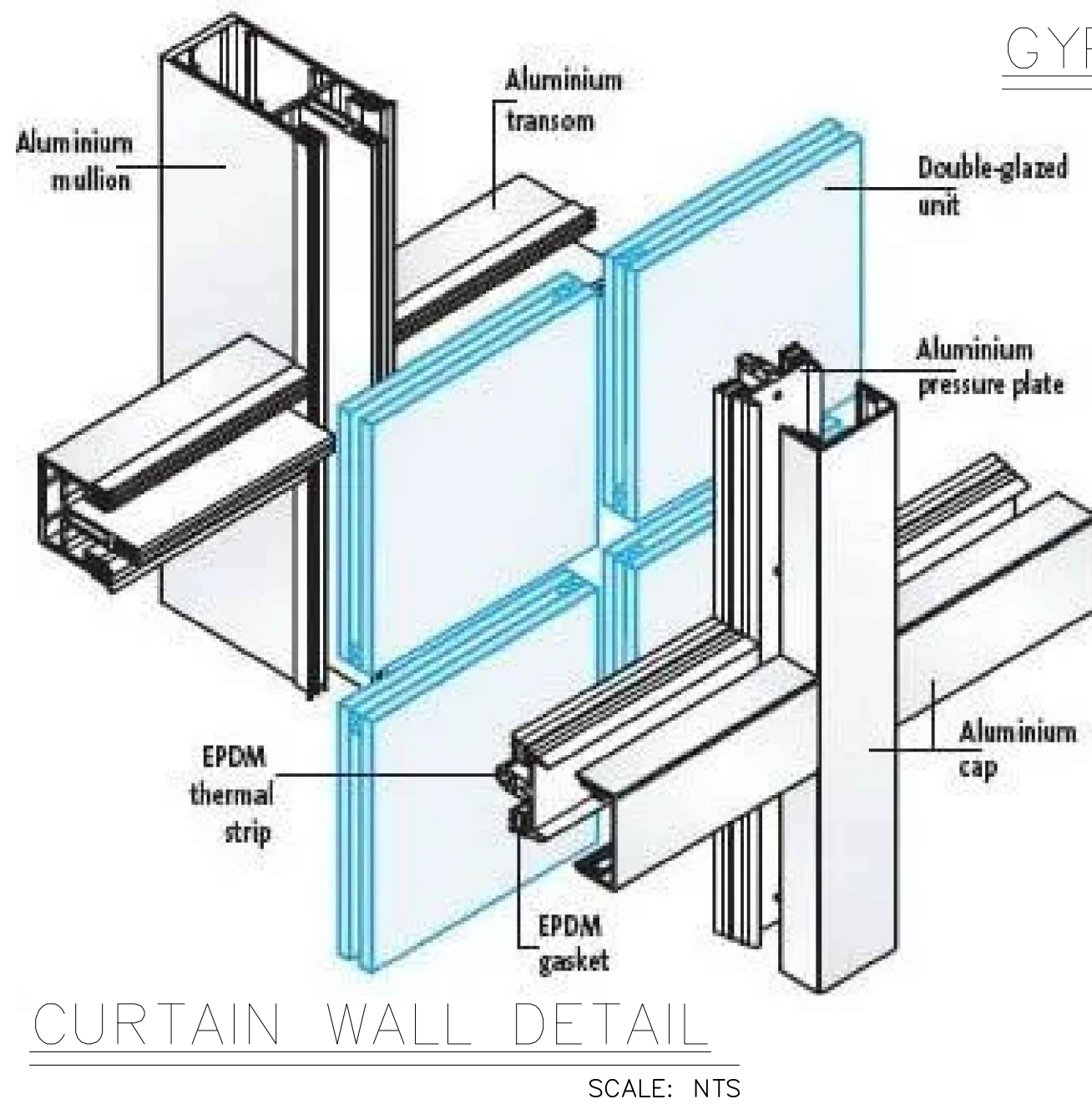
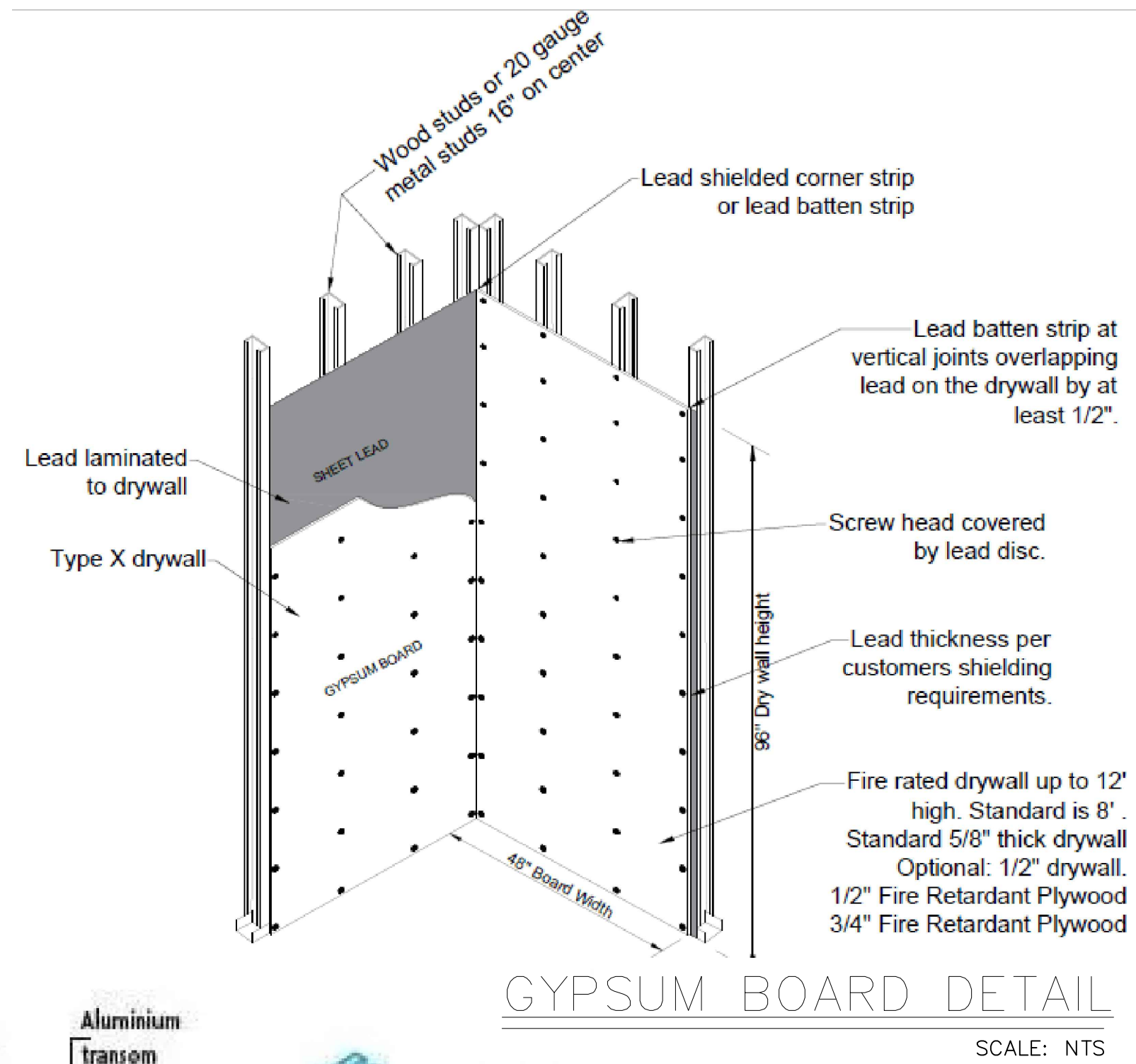
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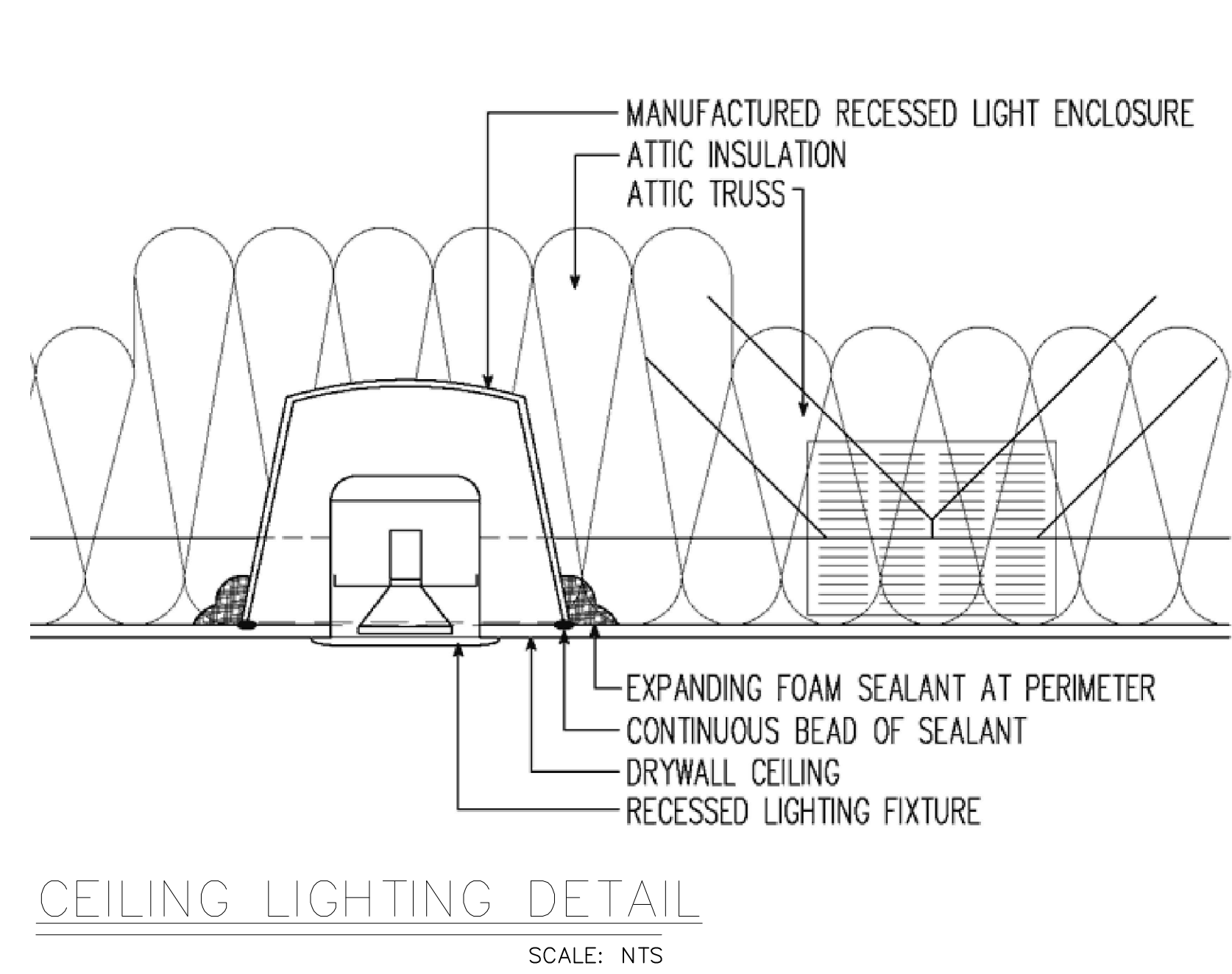
PILE FOUNDATION DETAIL
SCALE: NTS



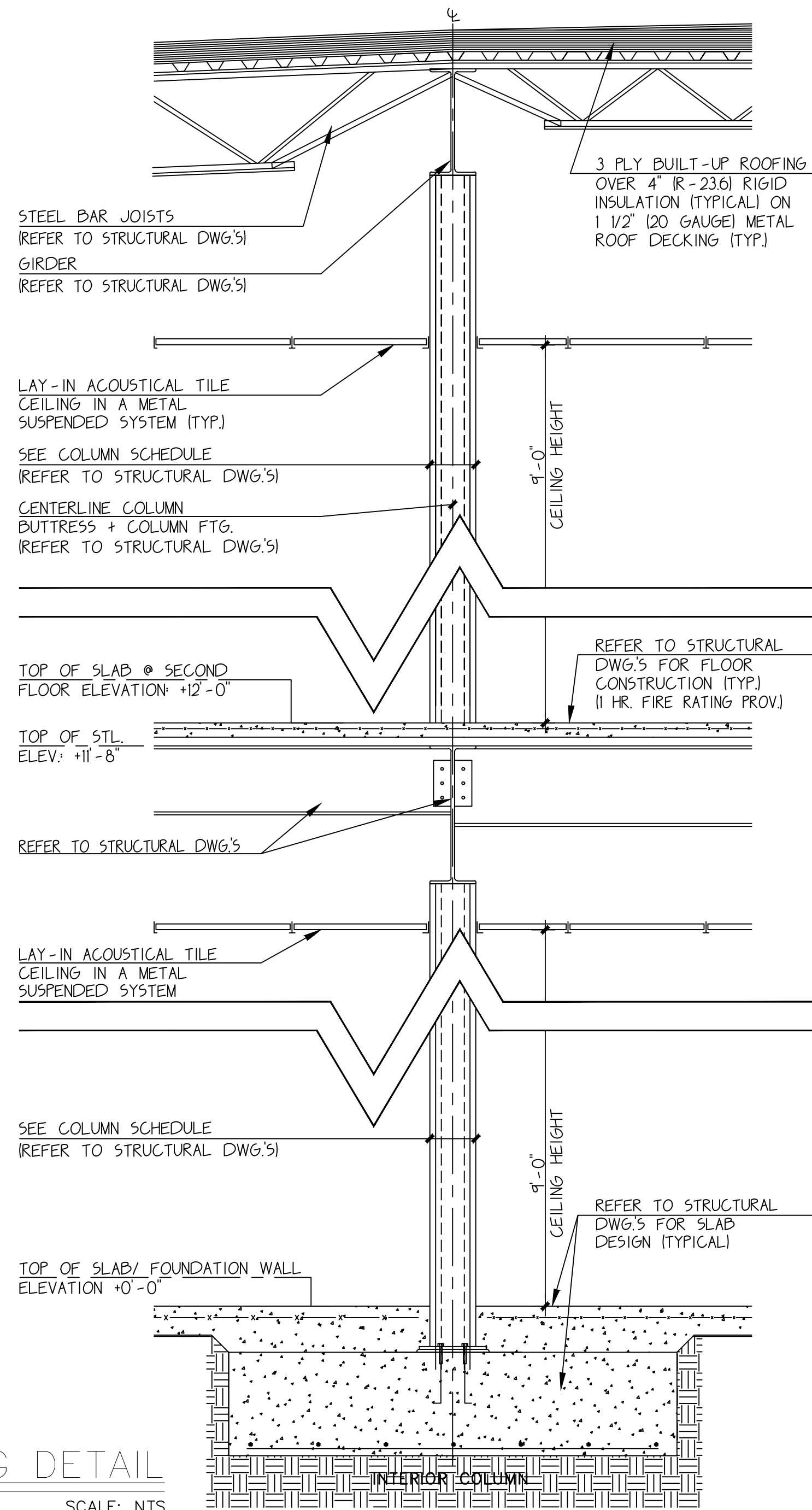
CONCRETE BLOCK WALL DETAIL
SCALE: NTS



CURTAIN WALL DETAIL
SCALE: NTS



CEILING LIGHTING DETAIL
SCALE: NTS



STEEL FRAMING DETAIL
SCALE: NTS

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FALL 2025

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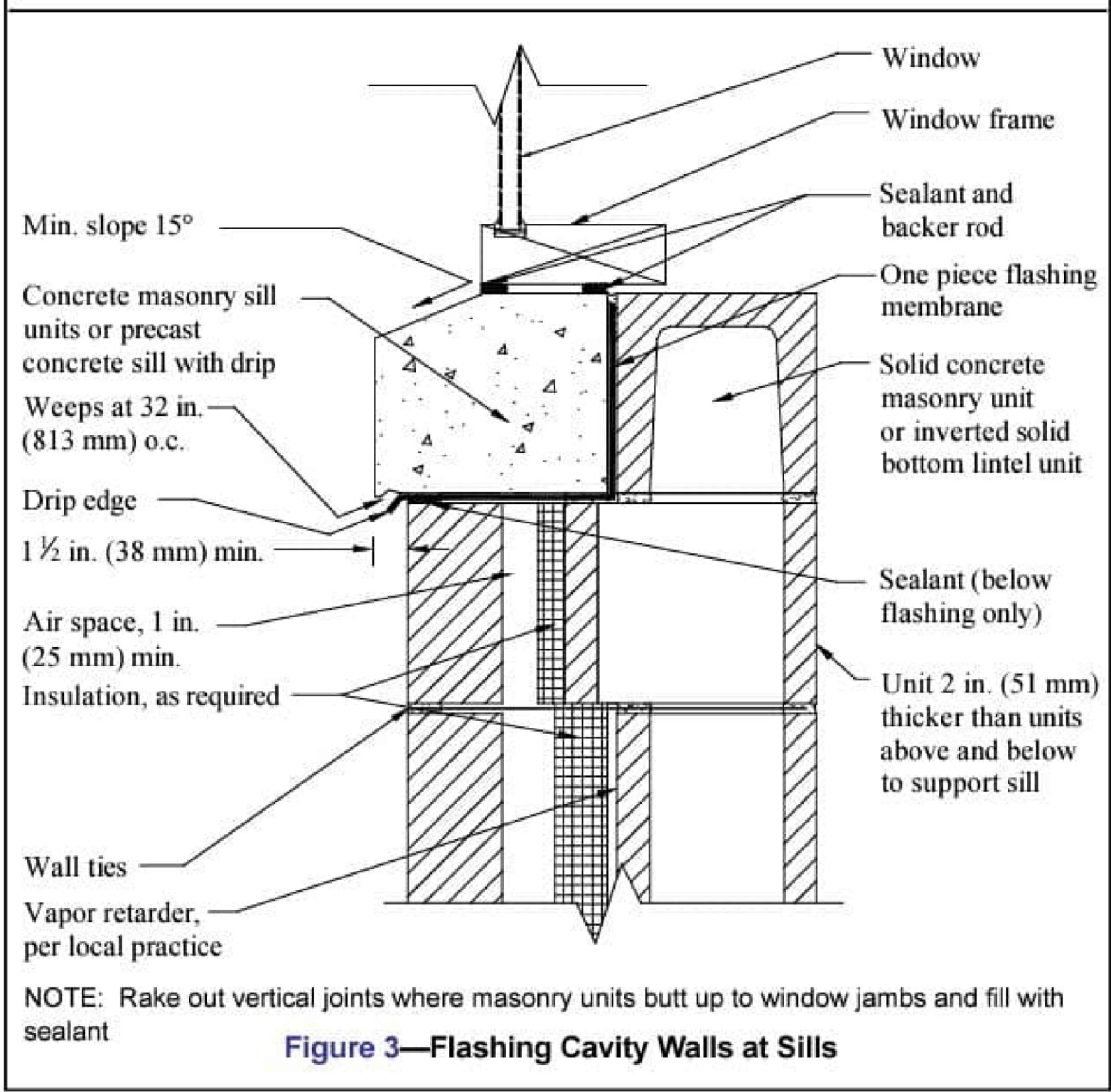
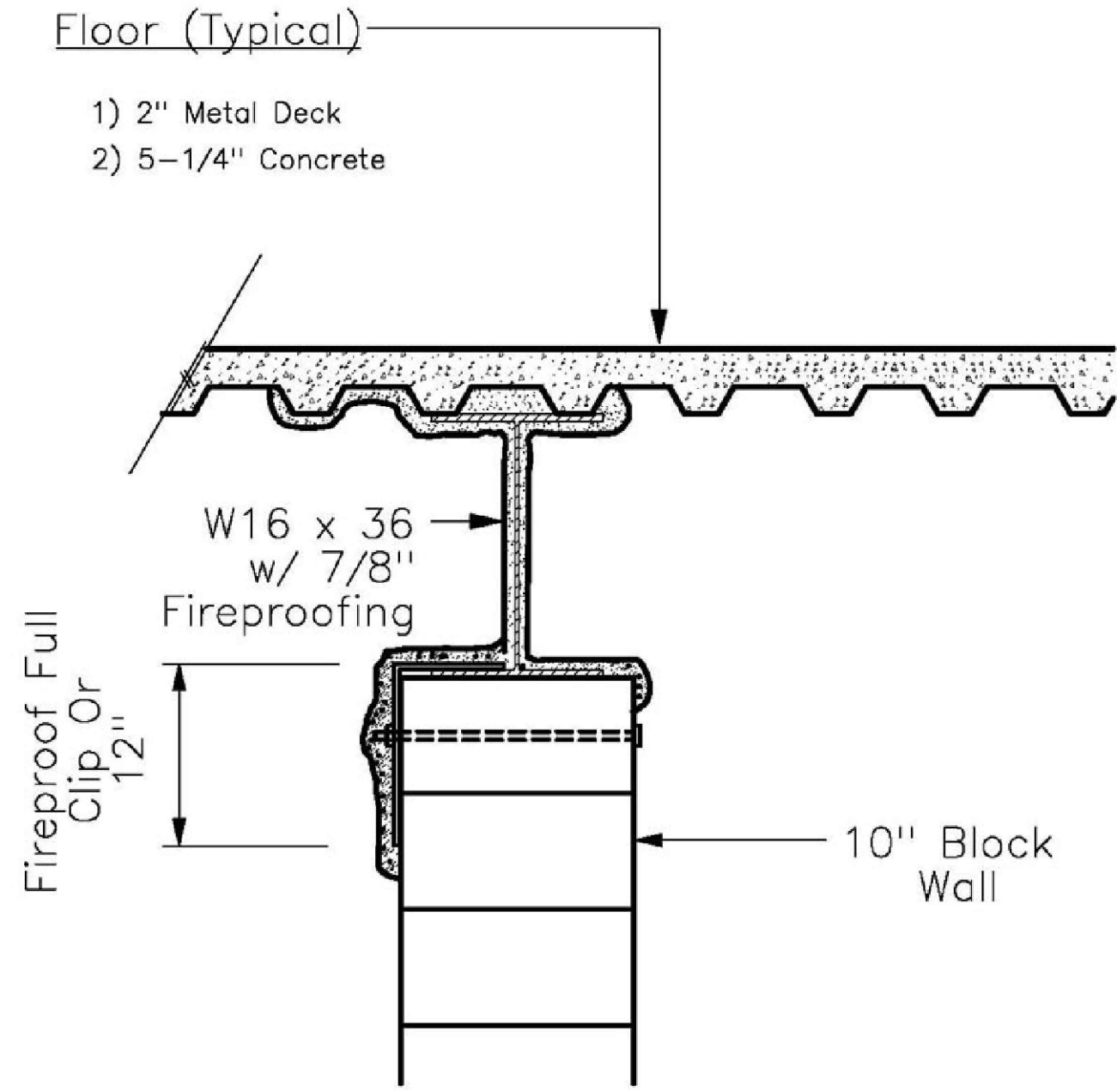


Figure 3—Flashing Cavity Walls at Sills

FLASHING CAVITY WALL DETAIL

SCALE: NTS



FIREPROOFING WALL DETAIL

SCALE: NTS

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